

## NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning and Zoning Commission will hold a public hearing on Thursday, February 5, 2026, at 6:00 p.m., at 1314 Avenue K, Lubbock, Texas, Council Chambers, to consider applications for zone change and specific use, all concerning property in Lubbock, Texas. The City Council hearing will take place on Tuesday, February 24, 2026, beginning at 2:00 p.m.

According to Lubbock Planning and Zoning Commission Rules, any citizen wishing to appear before a regular meeting of the Planning and Zoning Commission, regarding any matter posted on the Planning and Zoning Commission Agenda below, shall complete the sign-up form provided at the meeting, no later than 6:00 p.m. Citizen Comments is an opportunity for citizens to make comments and express a position on agenda items.

City of Lubbock Planning and Zoning Commission meetings are available to all persons regardless of disability. If you require special assistance or have questions regarding participating in the meeting, please contact the Planning Department at 806-775-2108 or write to us at [cityplanning@mylubbock.us](mailto:cityplanning@mylubbock.us) or to Post Office Box 2000, Lubbock, Texas 79457 at least 48 hours in advance of the meeting.

### Zone Changes – Public Hearings

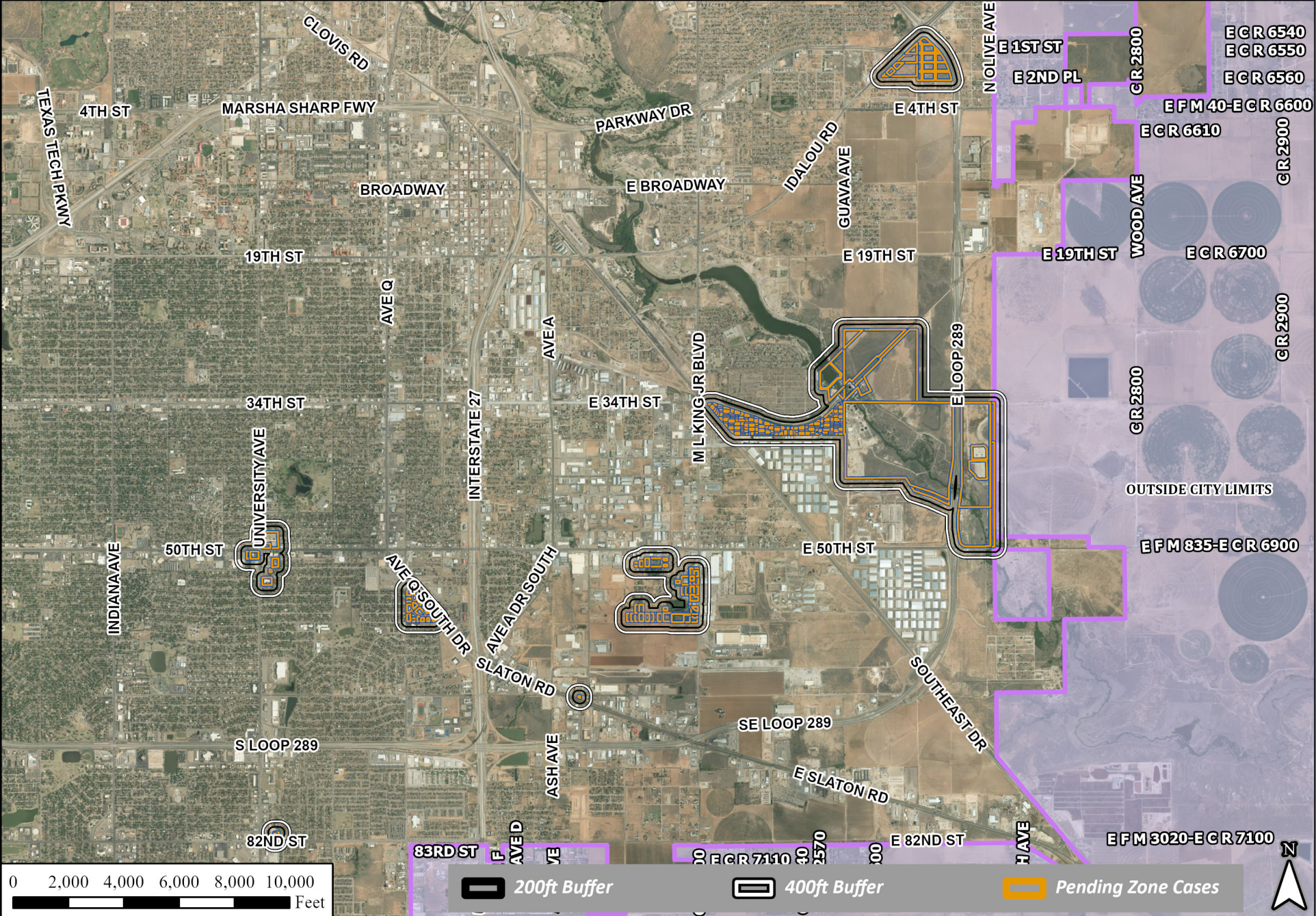
**Zone Case 3541:** A request for zone changes in **City Council District 2** from Low Density Single-Family District (SF-2), Medium Density Residential District (MDR), High Density Residential District (HDR), Neighborhood Commercial District (NC), Heavy Commercial District (HC), Light Industrial District (LI), and General Industrial District (GI) to Low Density Single-Family District (SF-2), Office District (OF), Neighborhood Commercial District (NC), Auto-Urban Commercial District (AC), and Light Industrial District (LI), at:

**102 Linden Avenue**, Lots 11, 12, 16, and 17, Block 11 and Lot 5, Block 13, and part of Block 15, Morning View Addition, **3520 Idalou Road**, 1.78 acres of unplatted land out of Block A, Section 3, **3518 Idalou Road**, 0.376 acres of unplatted land out of Block A, Section 3, **3516 Idalou Road**, 4 acres of unplatted land out of Block A, Section 3, **3514 Idalou Road**, 0.98 acres of unplatted land out of Block A, Section 3, **3512 Idalou Road**, Lot 1, R Z Abell Addition, **3510 Idalou Road**, 9.1 acres of unplatted land out of Block A, Section 3, **1734 East 34<sup>th</sup> Street**, Lot 1, Block 1, Phyllis Wheatley Addition, **1904 East 35<sup>th</sup> Street**, Lot 2, Block 1, Phyllis Wheatley Addition, **3401, 3403, 3405, 3407, and 3417 Railroad Avenue**, Lots 11-15, Block 1, Phyllis Wheatley Addition, **3502, 3504, 3506, 3508, 3510, 3512, 3514, and 3516 Teak Avenue**, Lots 3-10, Block 1, Phyllis Wheatley Addition, **3501, 3505, 3507, 3509, 3511, 3513, 3515, 3517, and 3519 Teak Avenue**, Lots 1-10, Block 2, Phyllis Wheatley Addition, **3502, 3504, 3506, 3508, 3510, 3512, 3514, and 3516 Ute Avenue**, Lots 11-18, Block 2, Phyllis Wheatley Addition, **3501, 3503, 3505, 3507, 3509, 3511, and 3513 Ute Avenue**, Lots 1-7, Block 3, Phyllis Wheatley Addition, **3502, 3504, 3506, 3508, 3510, and 3512 Vanda Avenue**, Lots 8-13, Block 3, Phyllis Wheatley Addition, **3501, 3503, 3505, 3507, and 3509 Vanda Avenue**, Lots 1-5, Block 4, Phyllis Wheatley Addition, **3502, 3504, 3506, and 3508 Walnut Avenue**, Lots 6-9, Block 4, Phyllis Wheatley Addition, **3601 Railroad Avenue**, Lots 1, Block 5, Phyllis Wheatley Addition, **3602, 3604, 3606, 3608, and 3610 Ute Avenue**, Lots 2-7, Block 5, Phyllis Wheatley Addition, **3601, 3603, 3605, 3607, 3609, 3611, 3613, and 3615 Ute Avenue**, Lots 1-8, Block 6, Phyllis Wheatley Addition, **3602, 3604, 3606, 3608, 3610, 3612, 3614, and 3616 Vanda Avenue**, Lots 9-16, Block 6, Phyllis Wheatley Addition, **3601, 3603, 3605, 3607, 3609, 3613, 3615, and 3617 Vanda Avenue**, Lots 1-8, Block 7, Phyllis Wheatley Addition, **3602, 3604, 3606, 3608, 3612, and 3614, Walnut Avenue**, Lots 11-16, Block 7 Phyllis Wheatley

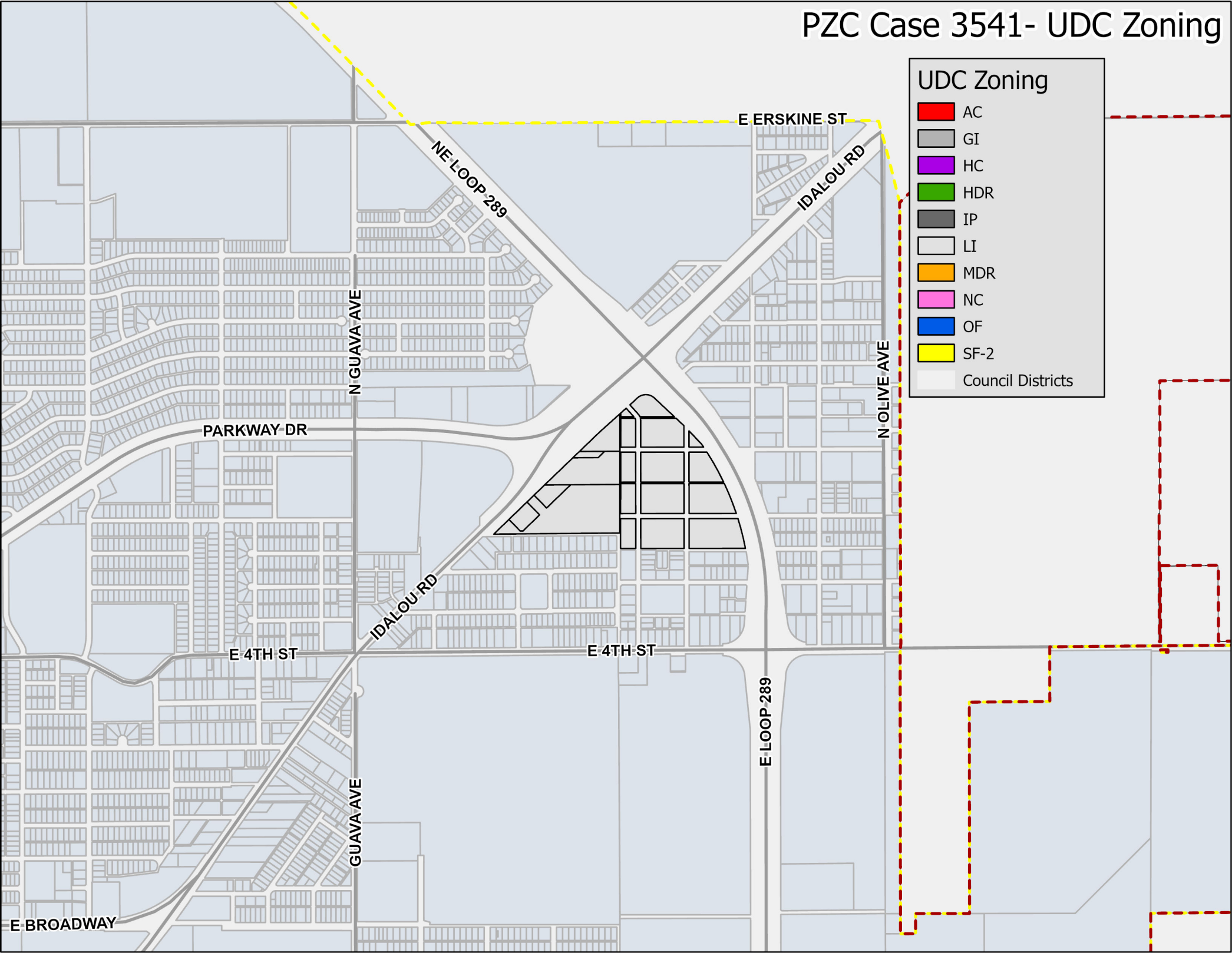
Addition, **2211 East 37<sup>th</sup> Street and 3616 and 3618 Walnut Avenue**, Lots 9-10, Block 7, Phyllis Wheatley Addition, **3501, 3503, 3601, 3603, 3605, 3607, 3609, 3611, 3613, and 3615 Walnut Avenue**, Lots 1-11, Block 8 Phyllis Wheatley Addition, **3604, 3606, 3608, 3610, 3612, 3614, 3616, and 3618 Yucca Avenue**, Lots 12-19, Block 8, Phyllis Wheatley Addition, **2408 East 35<sup>th</sup> Street and 3602 Yucca Avenue**, Lots 20-A and 20-B, Block 8, Phyllis Wheatley Addition, **3601, 3603, 3605, 3607, 3609, 3611, 3613, and 3615 Yucca Avenue**, Lots 1-8, Block 9, Phyllis Wheatley Addition, **2615 East 35<sup>th</sup> Street and 3604, 3606, 3608, 3612, and 3614 Zenith Avenue**, Lots 9-15, Block 9, Phyllis Wheatley Addition, **3601, 3603, 3605, 3607, 3609, and 3611 Zenith Avenue**, Lots 1-6, Block 10, Phyllis Wheatley Addition, **3602, 3604, 3606, 3608, and 3610 Aspen Avenue**, Lots 7-11, Block 10, Phyllis Wheatley Addition, **2701, 2703, 2705, 2707, and 2709 East 37<sup>th</sup> Street**, Lots 16-10, Block 11, Phyllis Wheatley Addition, **2702, 2704, 2706, 2708, 2710, and 2712 East 35<sup>th</sup> Street**, Lots 1-5, Block 11, and the east 67.4 feet of Block 11, Phyllis Wheatley Addition, **3601, 3603, 3605, and 3607 Beech Avenue**, Lots 1-5, Block 12, Phyllis Wheatley Addition, **3602, 3604, 3606, 3608, and 3610 Cherry Avenue**, Lots 6-10, Block 12, Phyllis Wheatley Addition, **3601, 3603, 3605, 3607, 3609, and 3611 Cherry Avenue**, Lots 1-6, Block 13, Phyllis Wheatley Addition, **3602, 3604, 3606, 3608, 3610, 3612, and 3614 David Avenue**, Lots 7-13, Block 13, Phyllis Wheatley Addition, **3601, 3603, 3605, 3607, 3609, 3611, and 3613 David Avenue**, Lots 1-9, Block 14, Phyllis Wheatley Addition, **3602, 3604, 3606, 3608, 3610, 3612, 3614, 3616, 3618, and 3620 Elder Avenue**, Lots 10-20, Block 14, Phyllis Wheatley Addition, **3601, 3603, 3605, 3607, 3609, 3611, 3613, 3615, 3617, 3619, and 3621 Elder Avenue**, Lots 1-11, Block 15, Phyllis Wheatley Addition, **3602, 3604, 3606, 3608, 3610, 3612, 3614, 3616, 3618, 3620, 3622 Fig Avenue**, Lots 12-22, Block 15, Phyllis Wheatley Addition, **3601, 3603, 3605, 3607, 3609, 3611, 3613, 3615, 3617, 3619, and 3621 Fig Avenue**, Lots 1-11, Block 16, Phyllis Wheatley Addition, **3602, 3604, 3606, 3608, 3610, 3612, 3614, 3616, 3618, 3620, 3622 Guava Avenue**, Lots 12-22, Block 16, Phyllis Wheatley Addition, **3501, 3503, 3505, 3507, 3509, 3511, 3513, and 3515 Fig Avenue**, Lots 1-8, Block 17, Phyllis Wheatley Addition, **3502, 3504, 3506, 3508, 3510, 3512, 3514, 3516, 3518, and 3520 Guava Avenue**, Lots 9-18, Block 17, Phyllis Wheatley Addition, **3501 Elder Avenue**, Lots 1-5, Block 18, Phyllis Wheatley Addition, **3603 Guava Avenue**, 342.39 acres of unplatted land out of Block B, Section 1, **3301 East 34<sup>th</sup> Street**, 87.2 acres of unplatted land out of Block B, Section 2, **3401 East 33<sup>rd</sup> Street**, 4.46 acres of unplatted land out of Block B, Section 2, **2607 East Loop 289**, 9.29 acres of unplatted land out of Block B, Section 2, **3300 East 34<sup>th</sup> Street**, 4.67 acres of unplatted land out of Block B, Section 2, **3205 East 35<sup>th</sup> Street, Rear**, 1.45 acres of unplatted land out of Block B, Section 3, **2522 Canyon Lake Drive**, 23.4 acres of unplatted land out of Block B, Section 3, **2701 East Loop 289**, 52.95 acres of unplatted land out of Block B, Section 2, **916 East 50<sup>th</sup> Street**, approximately 3,400 square feet of Lot 19, James Addition, **5011 King Avenue**, Lot 21, James Addition, **5006 Magnolia Avenue**, Lots 22 – 24, James Addition, **5216 and 5220 Oak Avenue**, the south 108.33 feet of the north 250 feet of Lot 60 and the south 50 feet of Lot 60, James Addition, **1502 East 54<sup>th</sup> Street**, Lot 68, James Addition, **1512 and 1512 East 54<sup>th</sup> Street E**, Lot 67, James Addition, **1510 and 1514 East 54<sup>th</sup> Street W**, Lot 66, James Addition, **5402 Martin Luther King Jr. Boulevard**, Lot 65, James Addition, **5416 and 5416 Martin Luther King Jr. Boulevard Rear**, 1.26 acres of unplatted land out of Block E, Section 1, **5404 Martin Luther King Jr. Boulevard**, Lot 1, Minnie Addition, **5607 Magnolia Avenue**, the north 110 feet of the south 200 feet of Lot 92, James Addition, **912 East 56<sup>th</sup> Street**, Lot 98, James Addition, **5610 King Avenue**, Lot 97, James Addition, **5611 King Avenue**, Lots 101 – 108 railroad right-of-way, James Addition, **901, 905, 909, and 915 East 58<sup>th</sup> Street**, Lots 101 – 104, James Addition, **1, 3, 4, 5, 7, 10, 12, 14, 15, 16, 17, 18, 19, 22, 23, 24, 25, 27, 29, 30, 31, 32, and 33 Briercroft Office Park**, Lots 1-10, 10-A, 12, 14-20, 22-27, 29-33 Briercroft Office Park Addition, **5701 Avenue P**, part of Blocks 17-20, C N Hodges Resub Addition, **2412 and 2424 50<sup>th</sup> Street**, Tract A, South College Addition, **5009 University Avenue**, Tract B, Doctors &

Dentists Addition, **2402 52<sup>nd</sup> Street**, Lot 2, Agee-Pharr Addition, **2325 52<sup>nd</sup> Street**, Lot 2-A-1, Freeway Addition, **5301 University Avenue**, Lot 1 and the 10' by 127' closed alley adjacent to Osteopathy Lot 1, Osteopathy Addition, **5010 and 5010 A University Avenue**, Lot 1, Tract C Caprock Addition, and **2404 82<sup>nd</sup> Street**, Tract H, Oak Park Addition.

# Zoning Case 3541



# PZC Case 3541- UDC Zoning



### UDC Zoning

|            |                   |
|------------|-------------------|
| Red        | AC                |
| Light Gray | GI                |
| Purple     | HC                |
| Green      | HDR               |
| Dark Gray  | IP                |
| White      | LI                |
| Orange     | MDR               |
| Pink       | NC                |
| Blue       | OF                |
| Yellow     | SF-2              |
| Light Gray | Council Districts |

E ERSKINE ST

NE LOOP 289

IDALOU RD

N GUAVA AVE

PARKWAY DR

N OLIVE AVE

IDALOU RD

E 4TH ST

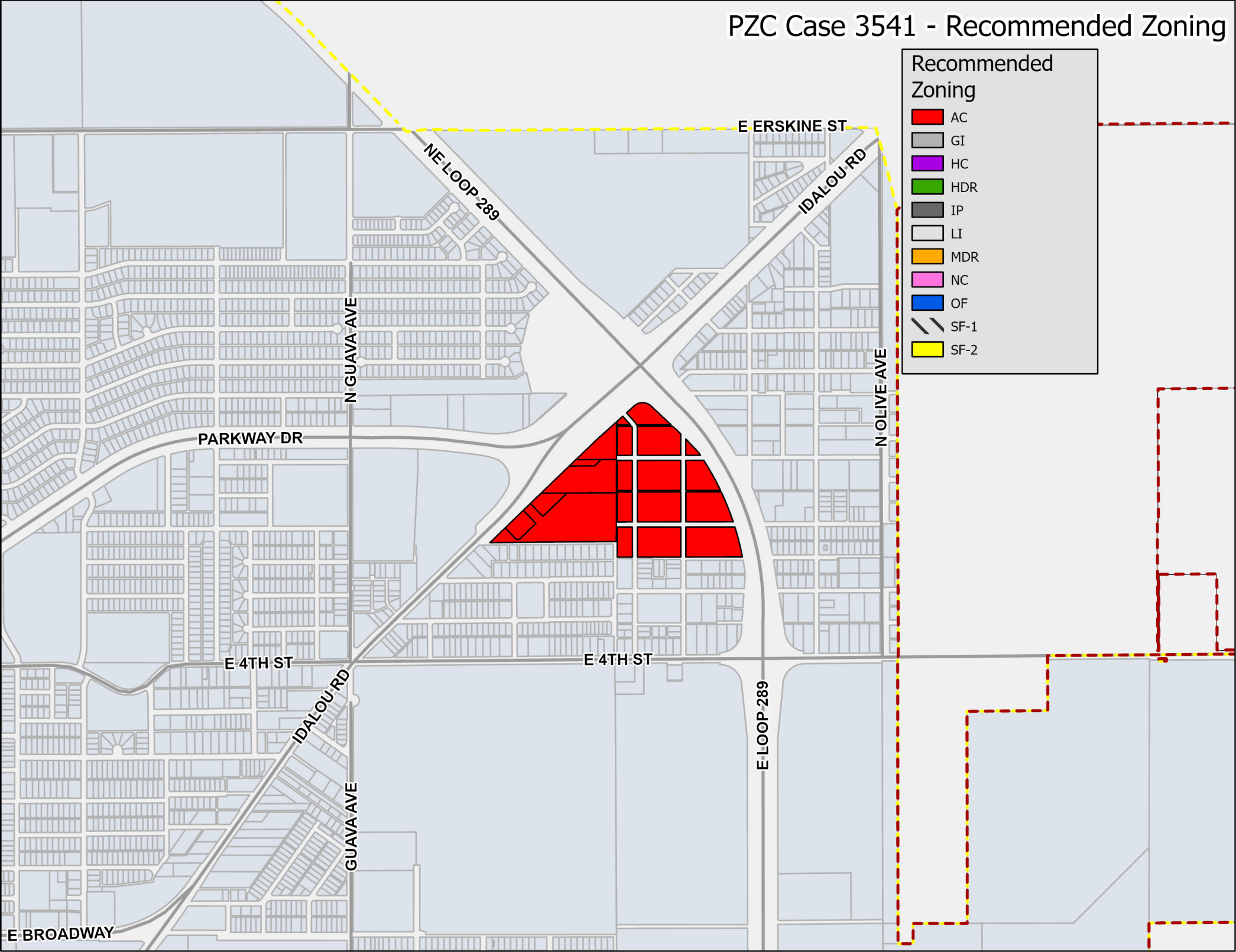
E 4TH ST

E LOOP 289

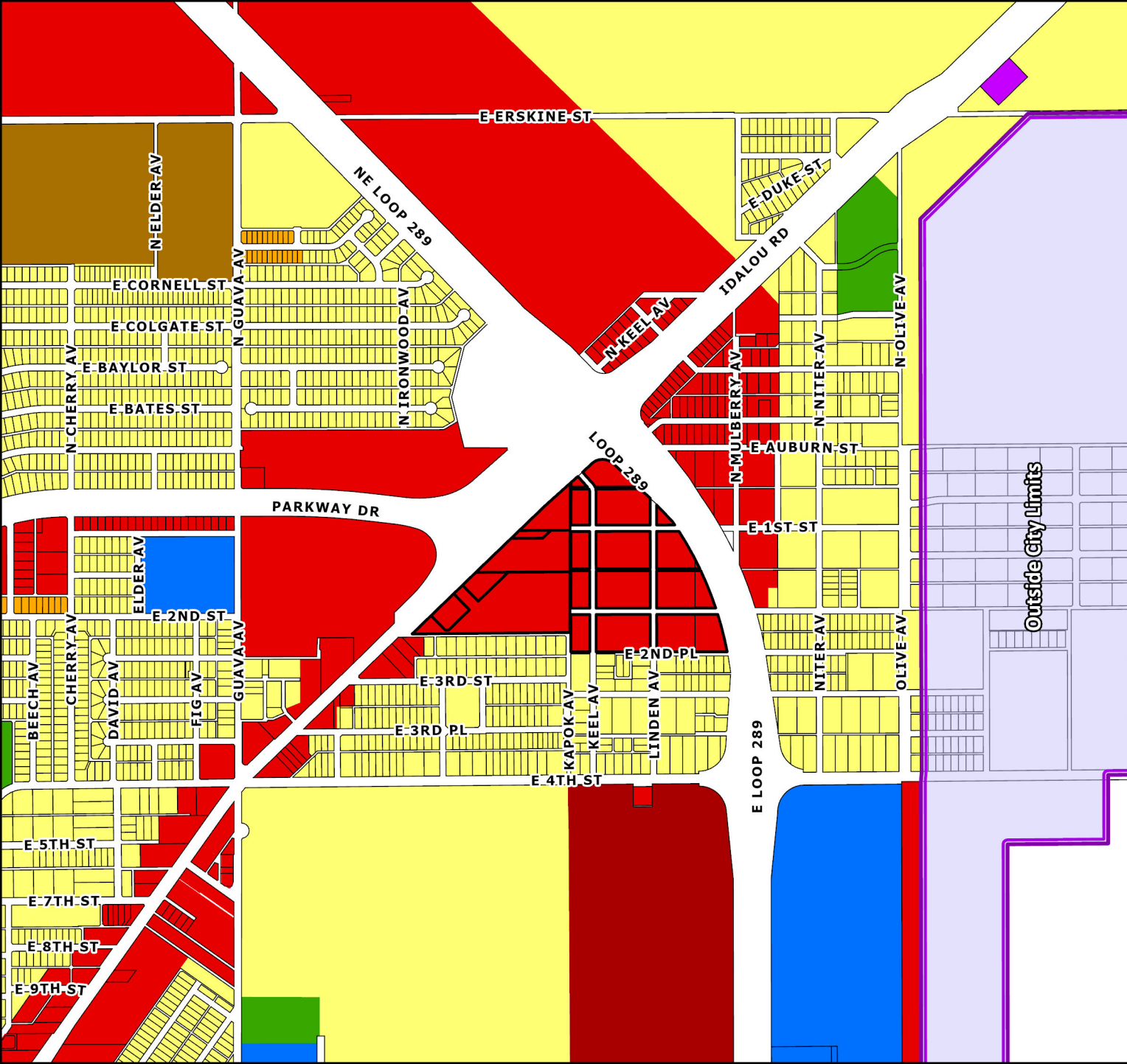
GUAVA AVE

E BROADWAY

# PZC Case 3541 - Recommended Zoning



# Future Land Use Plan Case 3541



- Commercial
- Heavy Commercial
- Industrial
- Parks
- Public/ Semi-Public
- Residential Low Density
- Residential Medium Density
- Residential High Density
- Outside City Limits



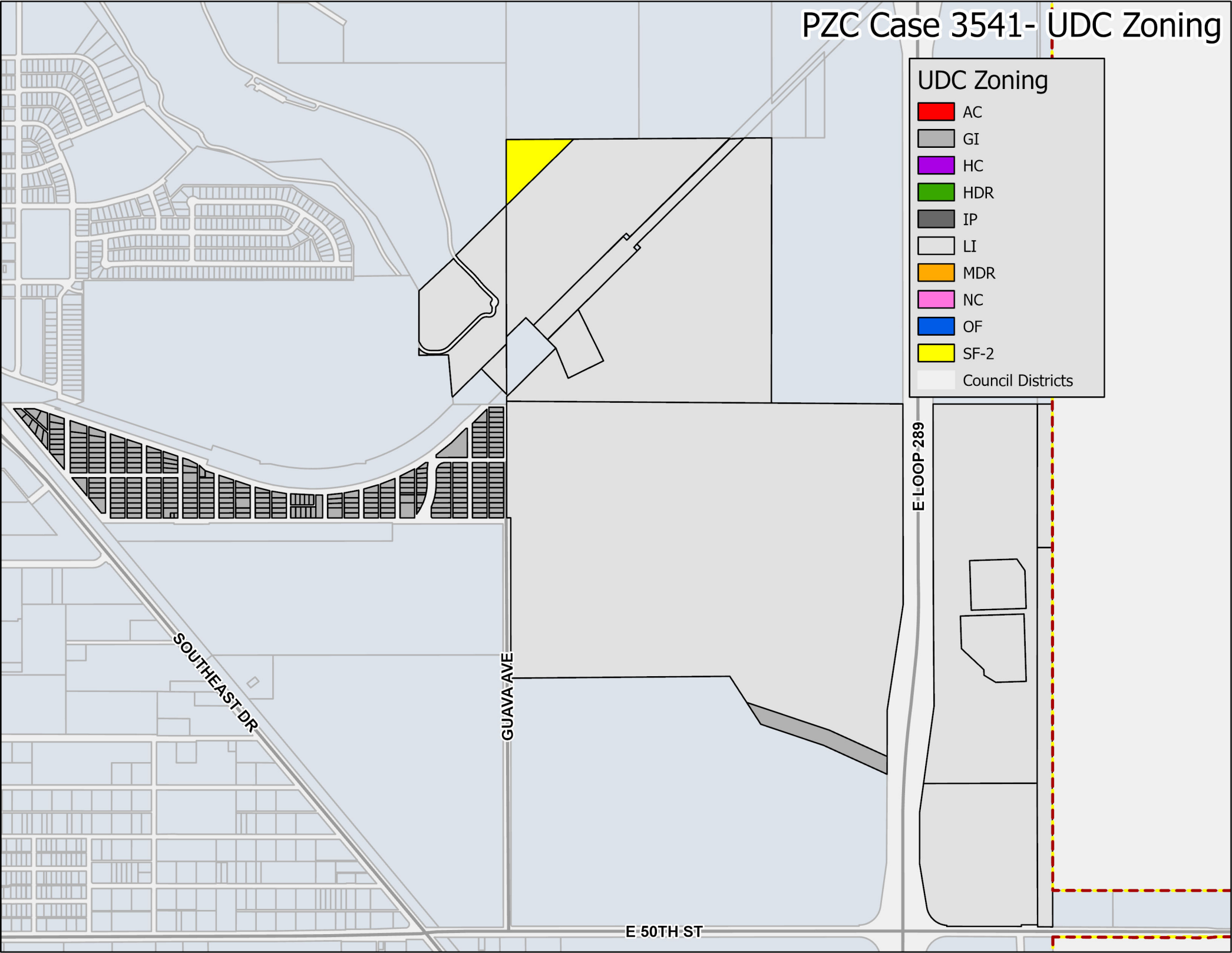
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Feet



# PZC Case 3541- UDC Zoning

**UDC Zoning**

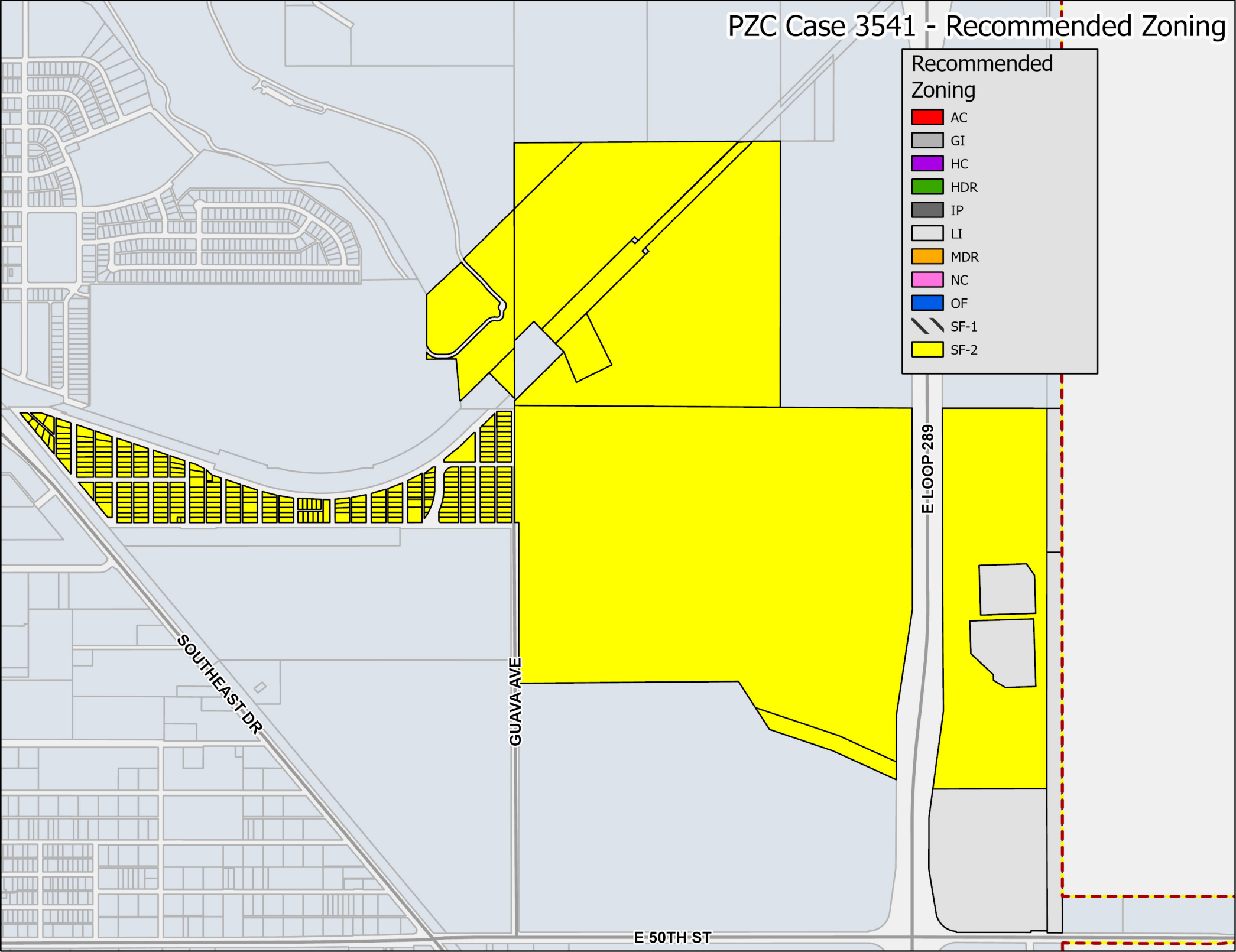
- AC
- GI
- HC
- HDR
- IP
- LI
- MDR
- NC
- OF
- SF-2
- Council Districts



# PZC Case 3541 - Recommended Zoning

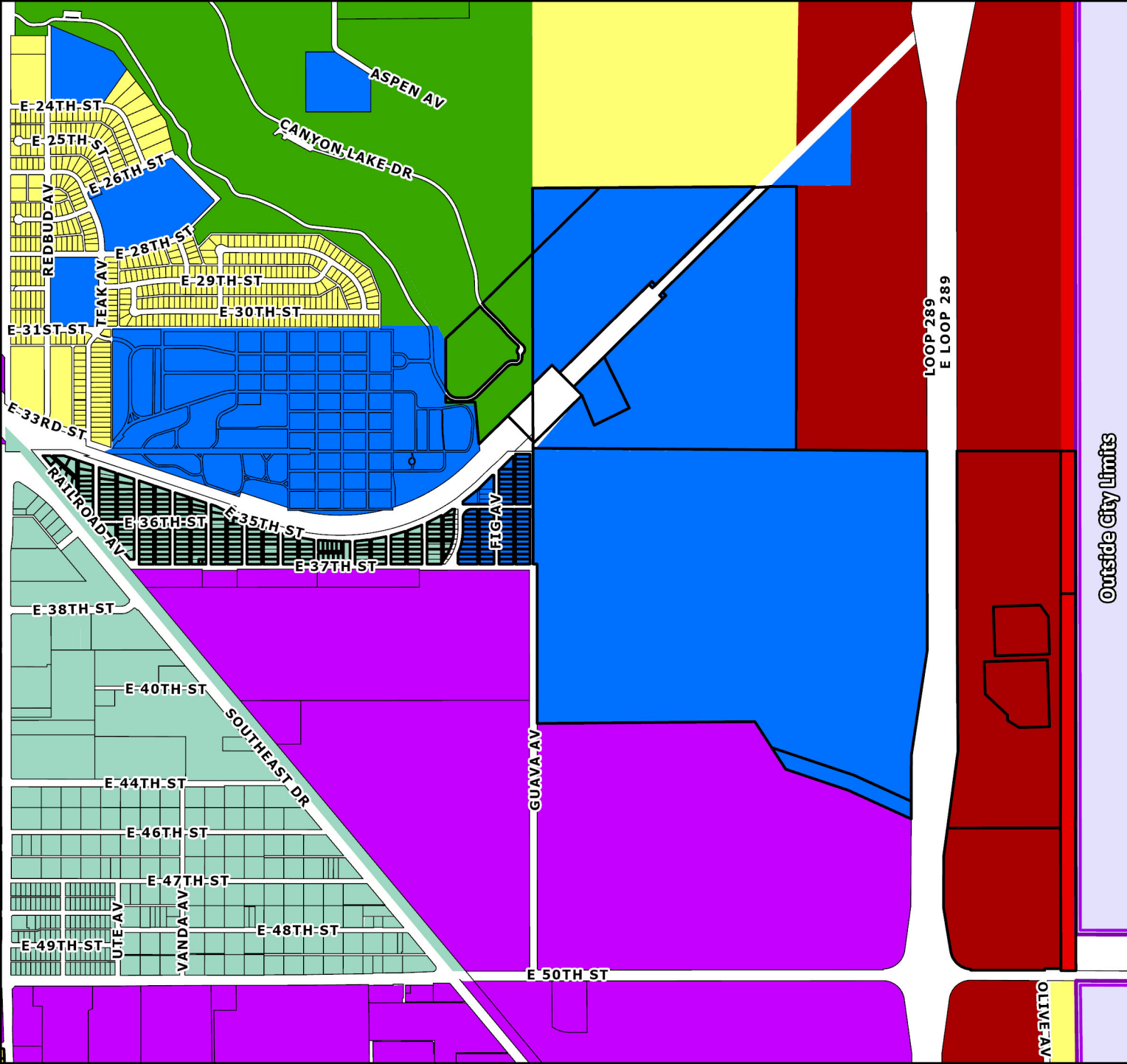
Recommended Zoning

- AC
- GI
- HC
- HDR
- IP
- LI
- MDR
- NC
- OF
- SF-1
- SF-2

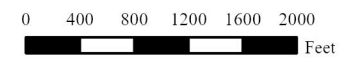


# Future Land Use Plan Case 3541

-  Commercial
-  Heavy Commercial
-  Industrial
-  Mixed Use
-  Parks
-  Public/ Semi-Public
-  Residential Low Density
-  Outside City Limits














Outside City Limits

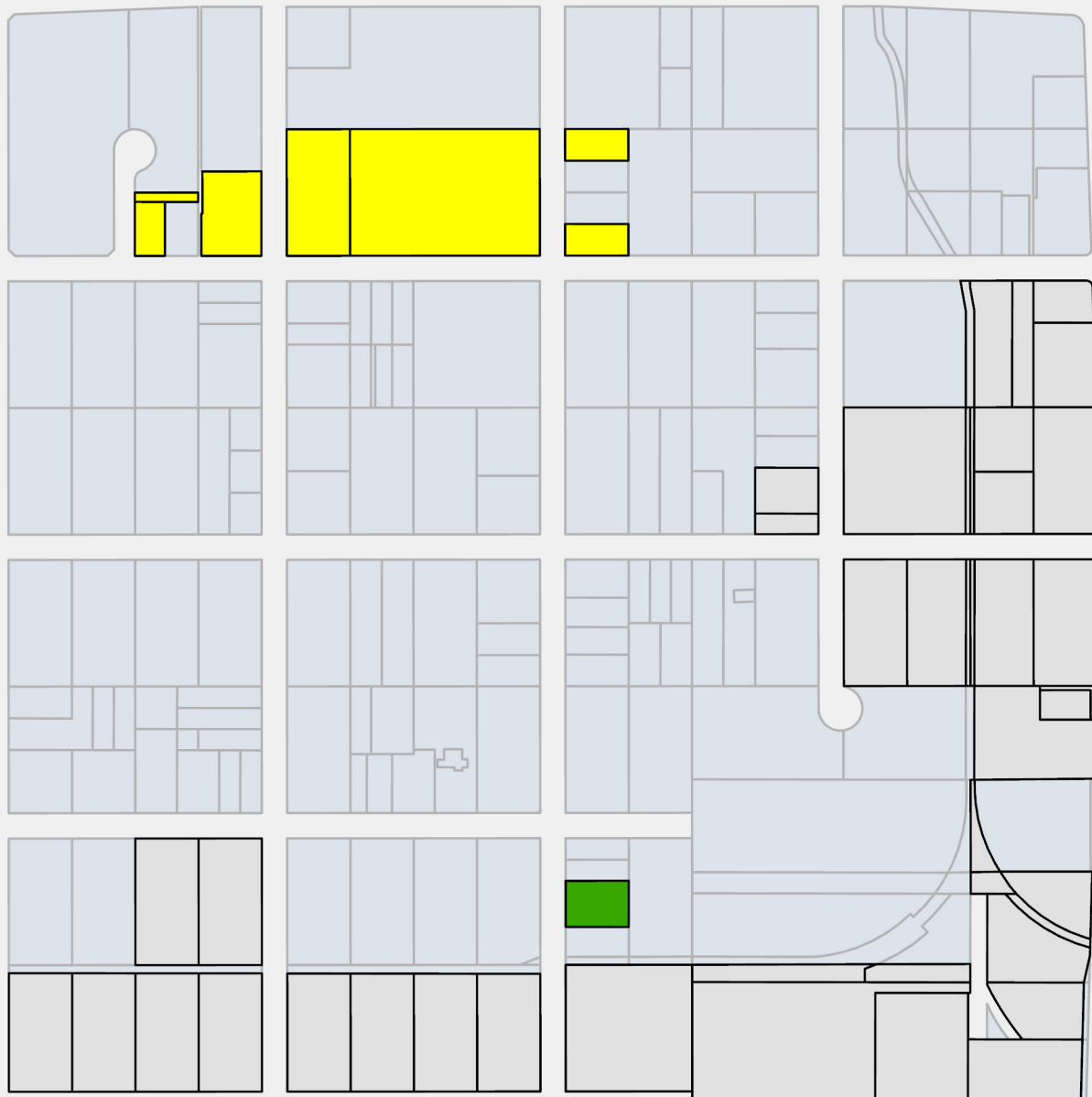


# PZC Case 3541- UDC Zoning

E 50TH ST

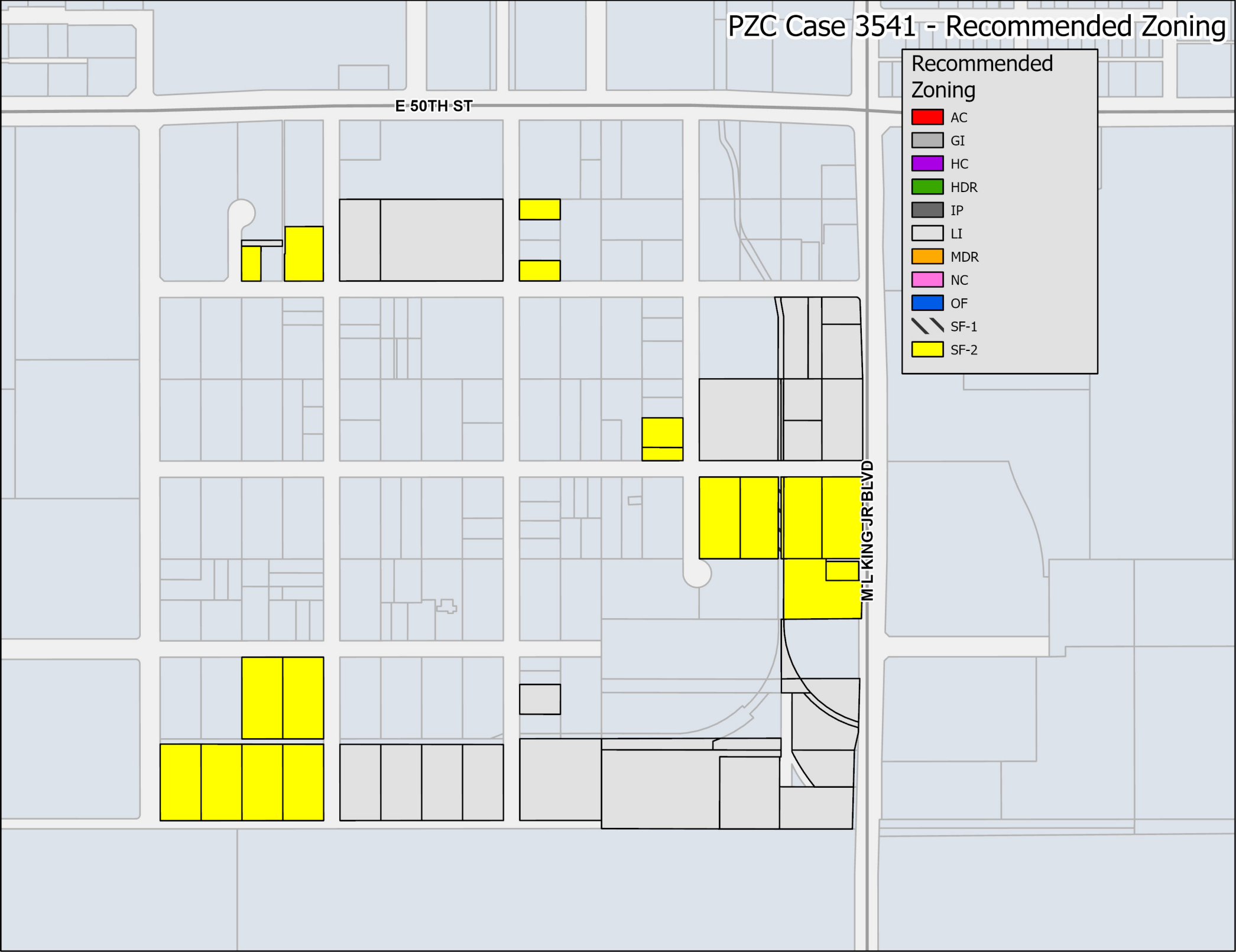
### UDC Zoning

|   |                   |
|---|-------------------|
|  | AC                |
|  | GI                |
|  | HC                |
|  | HDR               |
|  | IP                |
|  | LI                |
|  | MDR               |
|  | NC                |
|  | OF                |
|  | SF-2              |
|  | Council Districts |



M'LEKING JR BLVD

# PZC Case 3541 - Recommended Zoning





**Recommended Zoning**

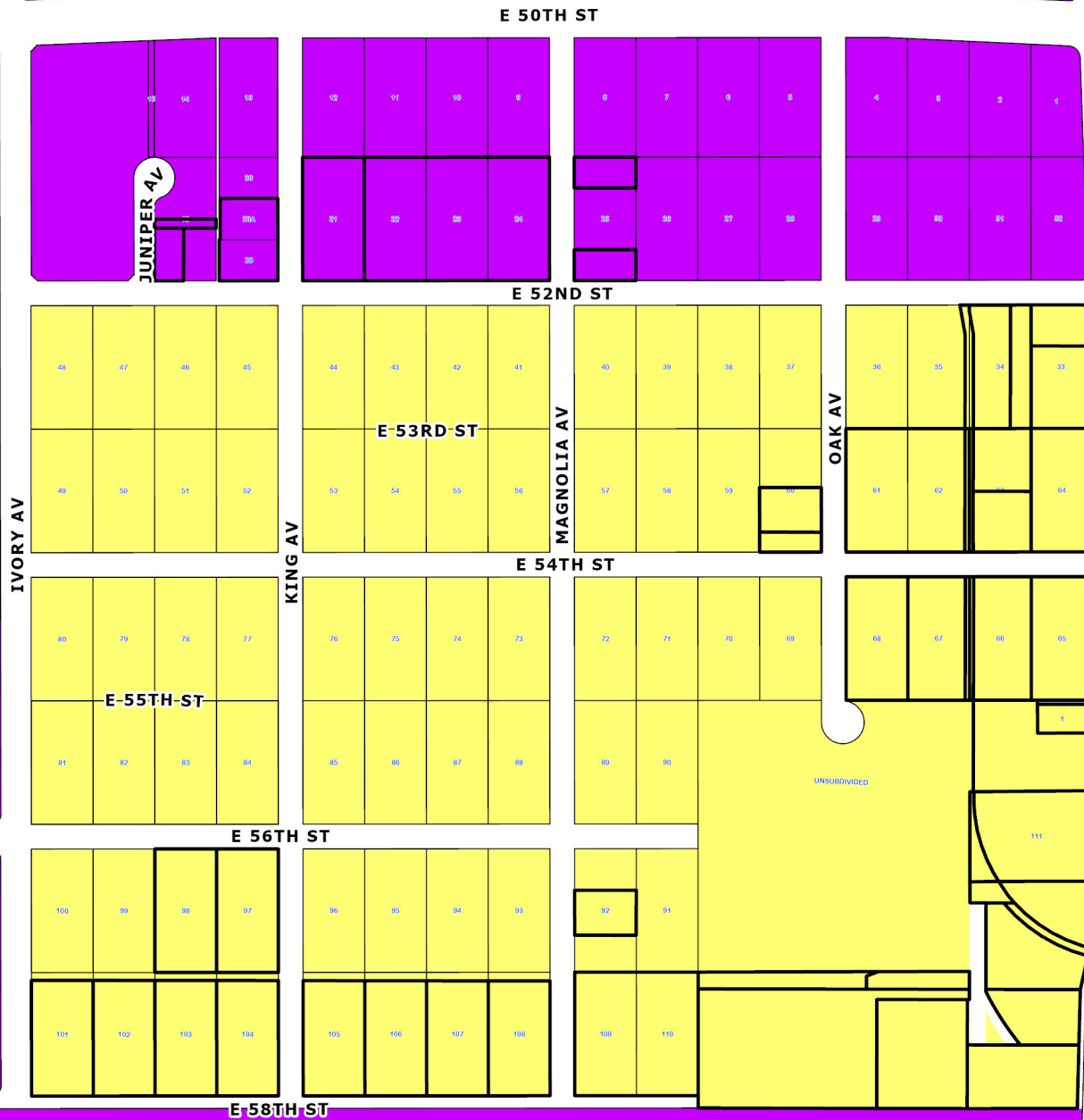
- AC
- GI
- HC
- HDR
- IP
- LI
- MDR
- NC
- OF
- SF-1
- SF-2

E 50TH ST

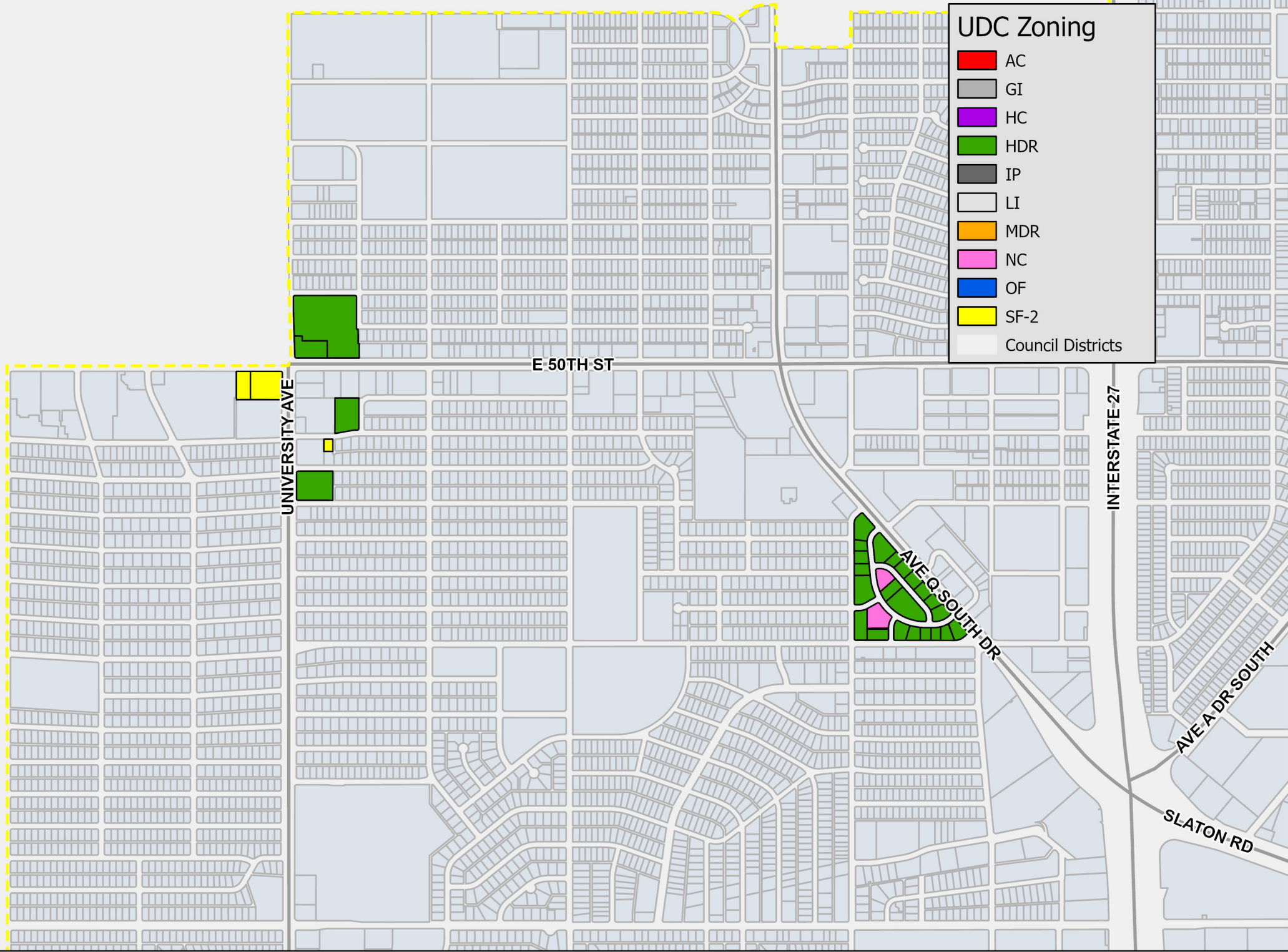
M L KING JR BLVD

# Future Land Use Plan Case 3541

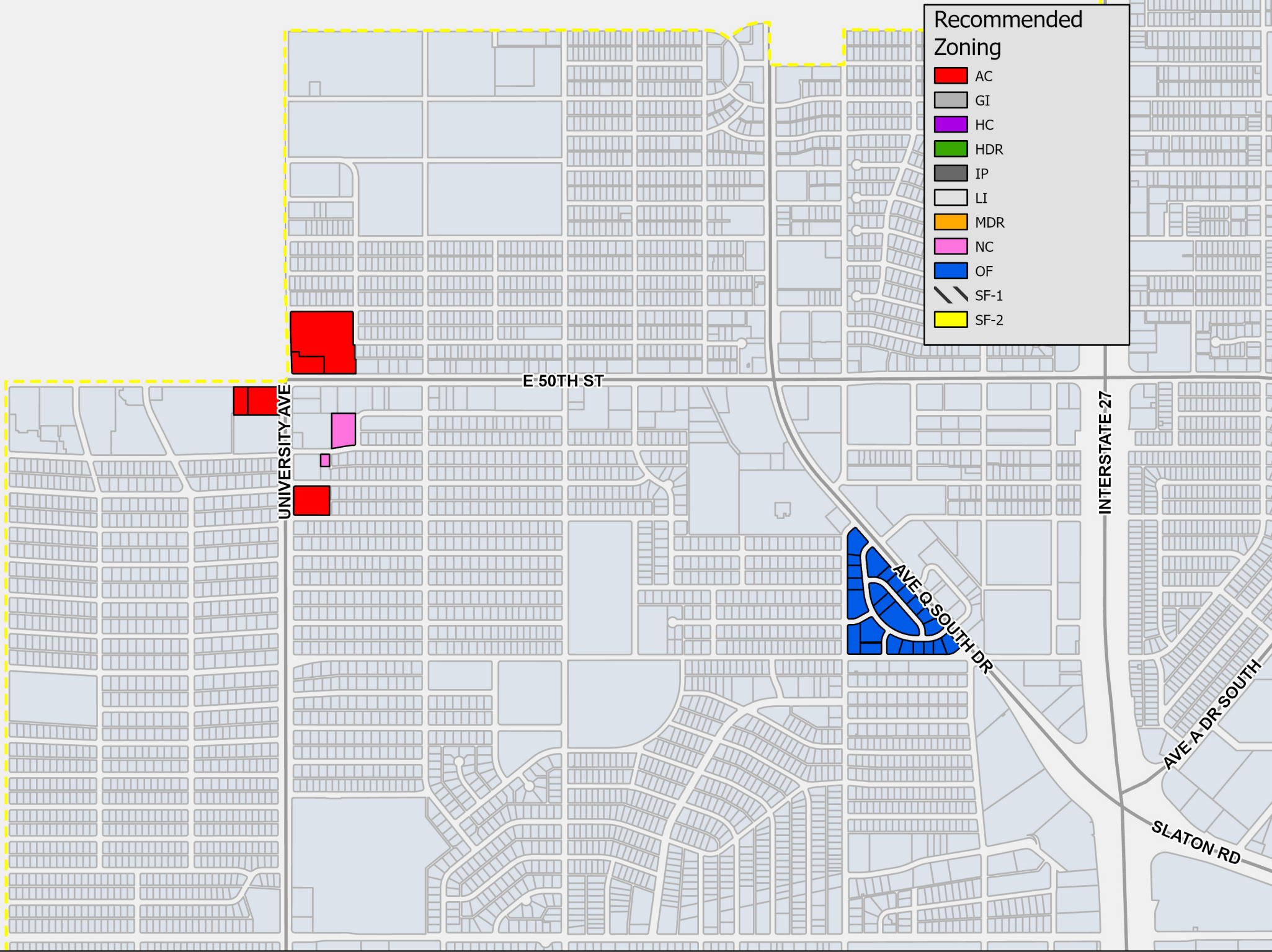
-  Industrial
-  Mixed Use
-  Residential Low Density



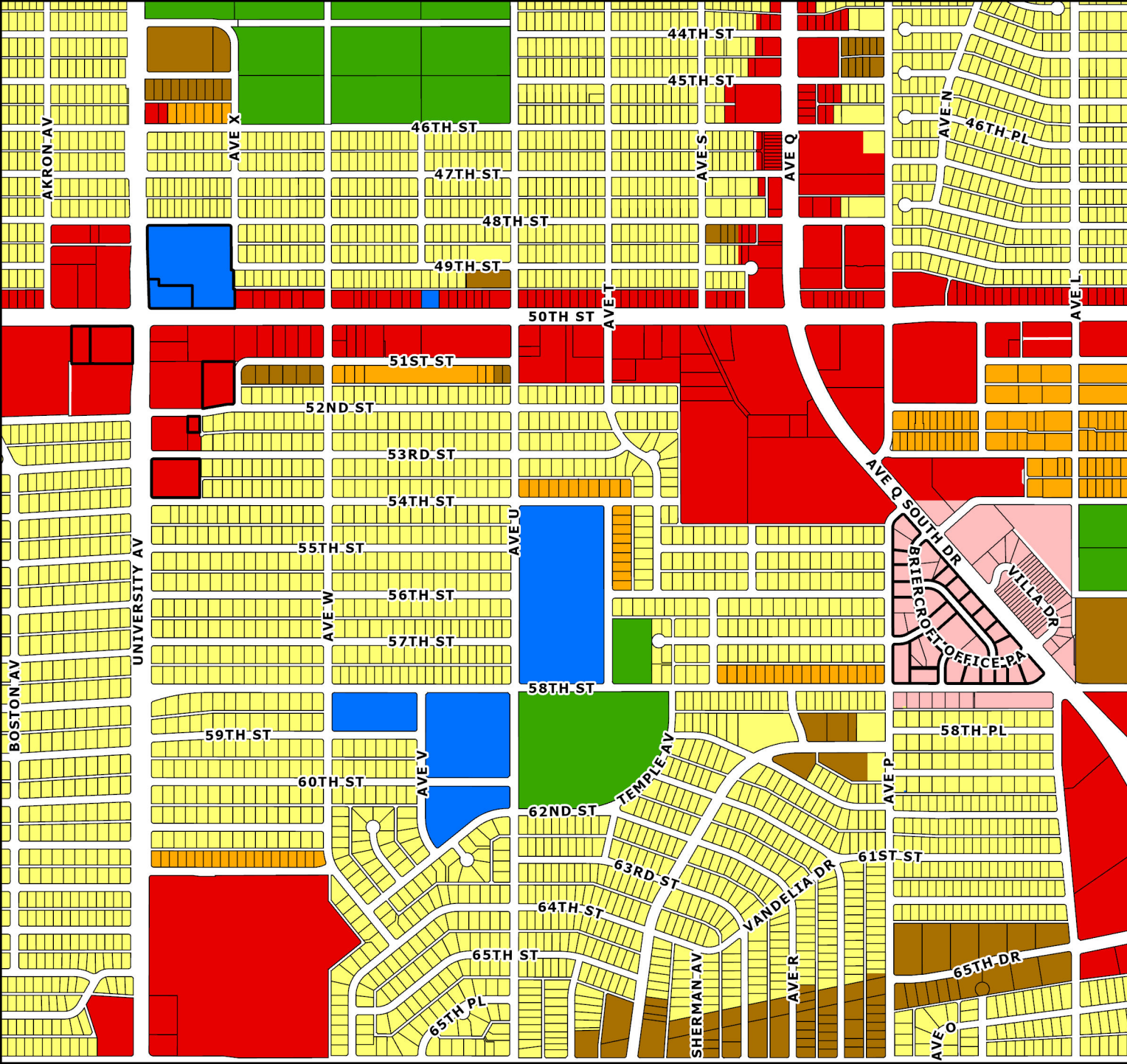
# PZC Case 3541- UDC Zoning



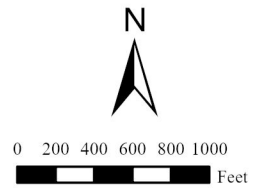
# PZC Case 3541 - Recommended Zoning



# Future Land Use Plan Case 3541














- Commercial
- Office
- Parks
- Public/ Semi-Public
- Residential Low Density
- Residential Medium Density
- Residential High Density



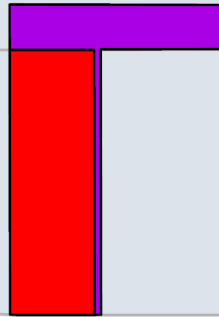
# PZC Case 3541- UDC Zoning

UNIVERSITY AVE

**UDC Zoning**

|   |                   |
|---|-------------------|
|  | AC                |
|  | GI                |
|  | HC                |
|  | HDR               |
|  | IP                |
|  | LI                |
|  | MDR               |
|  | NC                |
|  | OF                |
|  | SF-2              |
|  | Council Districts |

82ND ST

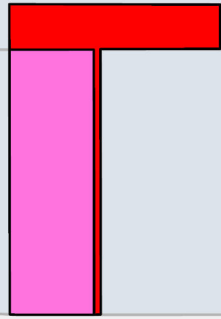


# PZC Case 3541 - Recommended Zoning

UNIVERSITY AVE

**Recommended Zoning**

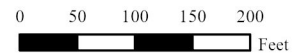
- AC
- GI
- HC
- HDR
- IP
- LI
- MDR
- NC
- OF
- SF-1
- SF-2



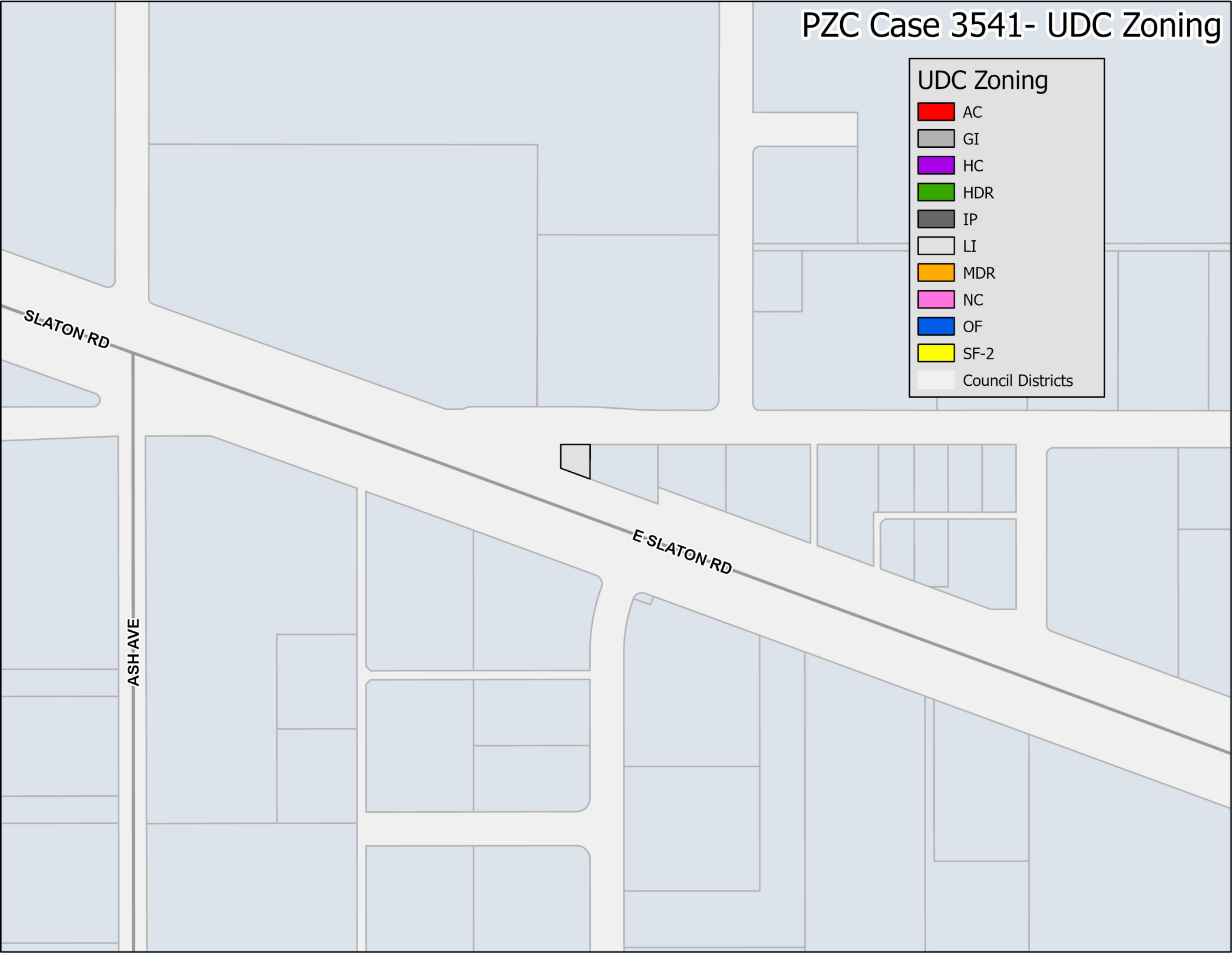
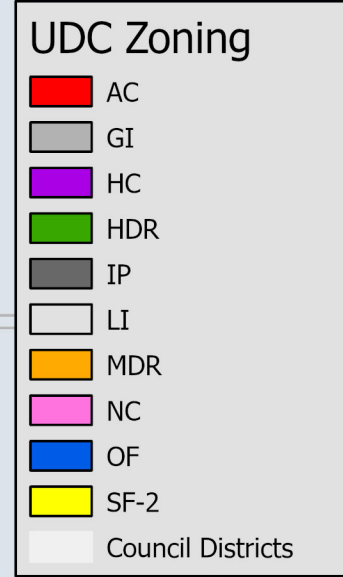
82ND ST

# Future Land Use Plan Case 3541

- Commercial
- Public/ Semi-Public
- Residential Low Density














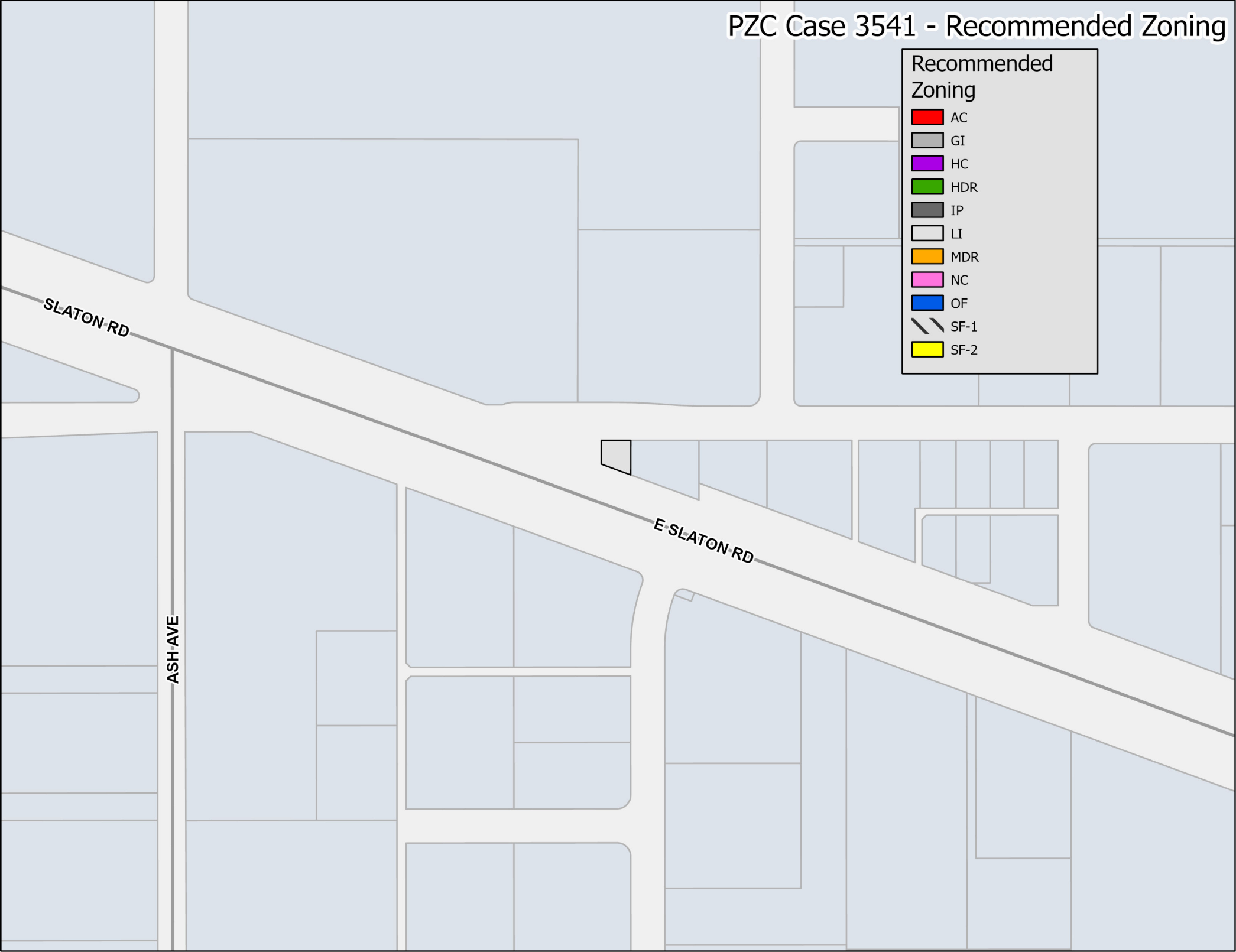
# PZC Case 3541- UDC Zoning



# PZC Case 3541 - Recommended Zoning

Recommended Zoning

|   |      |
|---|------|
|  | AC   |
|  | GI   |
|  | HC   |
|  | HDR  |
|  | IP   |
|  | LI   |
|  | MDR  |
|  | NC   |
|  | OF   |
|  | SF-1 |
|  | SF-2 |



# Future Land Use Plan Case 3541

- Commercial
- Industrial
- Public/ Semi-Public

